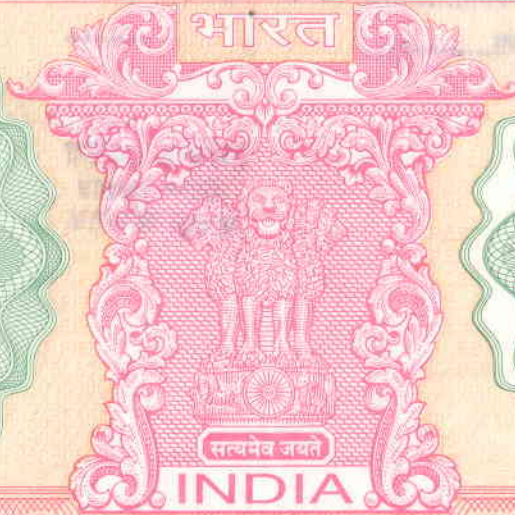


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भारतीय गैर न्यायिक

पचास
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FIFTY
RUPEES
Rs.50

INDIA NON JUDICIAL

পশ্চিমবঙ্গ পশ্চিম বঙ্গাল WEST BENGAL

AA 247336

Certified that the document is admitted to registration. The signature sheets and the endorsement sheets attached with this document are the part at this documents.

District Sub-Registrar-II
Howrah

17 AUG 2020

::: DEVELOPMENT AGREEMENT :::

P.S- SANKRAIL, DISTRICT- HOWRAH

AGREEMENT FOR DEVELOPMENT made on this 14th day of August, 2020,

BY AND BETWEEN

Contd.....

9.2000
858445/2020
14/08/2020

Sum Ban Maji

ক্রমিক সংখ্যা 1202 তারিখ 28/7/2020
ক্রেতার নাম Gourchasi Maity ty
ঠিকানা Heem
মূল্য ৳

সেকত মেডর
স্ট্যাম্প ভেগর
হাওড়া আদালত

Gan Ram Maity



2077

Gan Ram Maity



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দেববাসী মাঠ



2079

District Sub-Registrar-II
Howrah

Sebasis Maity



2083

17 AUG 2020

Sebasis Maity.

(2)

(1) SRI GOURHARI MAITY (PAN : AIUPM5785A) (AADHAR NO. 3724 3206 9633), son of Late Gunadhar Maity, by occupation - Business, **(2) SMT. PADMARANI MAITY** (PAN : AIXPM1203G) (AADHAR NO. 7914 5889 1043) wife of Sri Gourhari Maity, by occupation - Business, **(3) SRI SNEHASISH MAITY** (PAN : ATVPM2915N) (AADHAR NO. 9009 1743 3721) son of Sri Gourhari Maity, by occupation - Business, **(4) SRI DEBASISH MAITY** (PAN : ATVPM2914P) (AADHAR NO. 2389 1552 3781) son of Sri Gourhari Maity, by occupation - Business, all by faith - Hindu, all are residing at Village - Andul (Purbapara) P.O. - Andul - Mouri, P.S. - Sankrail, District - Howrah- 711302, all are Indian Citizen, hereinafter called and referred to as the **OWNERS/ LANDLORDS** (which expression and term shall unless excluded by or repugnant to the subject or context be deemed to mean and include their heirs, executors, successors, administrators and assignees) or the parties of the **FIRST PART** or the **FIRST PARTY**.

-AND-

M/S DESIRE CONSTRUCTION (PAN : AAQFD8846B) a Partnership Firm, having its registered office at Andul Purbapara, Andul Mouri, P.S. - Sankrail, District - Howrah - 711302, West Bengal, India, Represented by three Partners namely **(1) SRI DEBEBRATA MANNA** (PAN : AHOPM0609E) (AADHAR NO. 5405 3434 7261),

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2084

Debalekta Manna.



2085

Kaushik Bhattacharya



2086

Mita Debora.



Subrata Guha
 S/o Late: Susmita Guha
 Andul - Purbatara
 P.O. Andul - Moulvi
 Dist. Howrah
 Pin No. 711302
 P.S. Sankrail
 Business

District Sub-Registrar-II
Howrah

17 AUG 2020

(3)

son of Sri Deepak Kumar Manna, by faith - Hindu, by occupation - Business, residing at Village - Jujersaha Mannapara, Post Office - Jujersaha, Police Station -Panchla, District -Howrah, PIN - 711302,

(2) KOUSHIK BHATTACHARYA (PAN : ALMPB6615K) (AADHAR NO. 6123 7632 6720), son of Late Radha Kanta Bhattacharya, by

faith - Hindu, by occupation - Business, residing at Village - Andul Purbapara, Post Office - Andul - Mouri, Police Station - Sankrail,

District - Howrah, PIN - 711302, **(3) SMT. MITA DENRIA** (PAN : AUIPD3084B) (AADHAR NO. 5225 5568 4806), wife of Sri Rajkumar

Denria, by faith- Hindu, by occupation - Business, residing at Village Jujarsaha Manna Para, P.O. Jujarsaha, P.S. Panchla, District-

Howrah-711302, hereinafter called and referred to as the **DEVELOPER - COMPANY** (which term and expression shall unless

excluded by or repugnant to the subject or context be deemed to mean and include their heirs, executors, agents, administrators

and assigns) or the party of the **SECOND PART** or the **SECOND PARTY**.

WHEREAS the party of the First Part are the owners and occupiers of the piece and parcel of BASTU land measuring

about 20 sataks of land within Mouza - Andul, R.S. Khatian No. 433, R.S. Dag No. 662, old L.R. Khatian No. 1155/3, 414/2,

416/1, Present Hal/L.R. Khatian No. 2776, 2777, 2778 & 2845, L.R. Dag No. 742, P.S. - Sankrail, District - Howrah, which is

morefully and particularly described in the Schedule - 'A' here-

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District Sub-Registrar-II
Howrah

14 AUG 2020

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under and is hereinafter referred to as the "**SAID PROPERTY**".

AND WHEREAS one Smt. Rita Ghosh, Smt. Jayati Ghosh and Smt. Jaya Ghosh was the original owner of the schedule- A property who applied for conversation of the Schedule-A property to the S.D.L and L.R.O. Howrah who allowed the said conversation case vide C/ 415 /02,C/416/02,C/414/02 and the S.D.L & L.R.O.granted the conversation on 8/6/2002.

AND WHEREAS the First Party have become the owners of the Schedule - 'A' property by virtue of Registered Purchase Deeds dated 08/05/2018 vide Deed Nos.(i) 050302376 of 2018 (ii)050302385 of 2018 (iii) 05032382 of 2018 and (iv) 050302377 of 2018, all registered in ADSR Ranihati executed by Jayati Ghosh and Rita Ghosh .

AND WHEREAS the owners herein are absolutely seized and possessed of or otherwise well and sufficiently entitled to the said property and they mutated in their names at B.L. & L.R.O. Sankrail and they have clear and marketable title into the said property and the said property is not attached/encumbered/charged into any legal proceedings whatsoever in nature till date.

AND WHEREAS for optimum utilization of the property briefly described in 'A' schedule, the owners have mutually agreed to construct a multistoried building in the 'A' schedule

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mentioned property but due to lack of fund and technical experience the owners are/were searching for a reputed promoter or developer who will develop the said land and building by raising new construction containing of separate flats and shops or space with a modern taste and techniques after getting sanctioned plan from Howrah Zilla Parishad or other statutory body at his own cost.

AND WHEREAS the said developers/Company/Second Party requested the landowners and proposed to develop the said land and/or premises as described in the 'A' schedule hereunder written.

AND WHEREAS the Owner and the Developer have agreed to execute this Development Agreement for developing the 'A' schedule mentioned property for raising newly constructed (B+G+5) building after getting sanctioned plan, containing individual flats and shops on the terms and conditions hereinafter stated below;

NOW THIS MEMORANDUM OF UNDERSTANDING WITNESSETH AND IT IS HEREBY AGREED BY AND BETWEEN THE PARTIES ON CERTAIN TERMS AND CONDITIONS HERETO AS FOLLOWS

:-

ARTICLE - I / DEFINITION

Under/in these presents unless it is repugnant to or inconsis-

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ent with the context, the following terms refers as defined hereunder:-

1.1. OWNER : Shall mean and include the owner i.e. the First Parties as described above and his/their respective legal heirs successors, administrators and assignees.

1.2. DEVELOPER : Shall mean and include the Second Party and its respective legal directors, agents, successors, administrators, legal representative and assignees.

1.3. PREMISES : Shall mean and include ALL THAT the piece and parcel of bastu land i.e. measuring more or less about 20 sataks of BASTU i.e. Homestead land in R.S. Khatian No. 433, R.S. Dag No. 662, old L.R. Khatian No. 1155/3, 414/2, 416/1, Present Hal/L.R. Khatian No. 2776, 2777, 2778 & 2845, L.R. Dag No. 742, within Mouza - Andul, J.L. No. - 29, P.S. - Sankrail, District - Howrah, morefully and particularly described in the Schedule - 'A' hereunder written, which is occupied presently by the owners only.

1.4. BUILDING : Shall mean the proposed (B+G+5) building to be constructed at the said premises in accordance with the plan to be sanctioned by the Howrah Zilla Parishad and/or other statutory authorities.

1.5. COMMON FACILITIES AND AMENITIES : Shall mean and include corridors, ways, staircases and landing ways, pas-

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sage ways, overhead tank, water pump, electric connection, electric meter, lift/elevator and other facilities which may be required for the establishment / location / enjoyment / possession / maintenance and/or management of the building.

1.6. AREA AND SPACE : Shall mean and include the space in the building available for independent use and occupation after new provisions for common facilities and the space required thereof.

1.7. OWNERS ALLOCATION : Will be 50% of the FAR/ proposed total construction area (B+G+5) multi-storied building, over the Schedule - 'A' property, out of which the Southern side of the Ground Floor & in the Basement beside the Ramp and the North East corner of the 1st to top floor.

1.8. BUILDING : Means (B+G+5) multi-storied building i.e. one basement of 08 ft. height beneath the (G+5) Building.

1.9. DEVELOPER'S ALLOCATION : Means remaining portion or rest 50% or the rest areas as to be constructed areas of the proposed (B+G+5) multi-storied building as mentioned above (excluding the owner's Allocation) and the Developer will have the exclusive rights over the said areas.

1.10. SALEABLE SPACE : Means and includes the space available for independent use and occupation of the respec-

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tive flat owners and proportionate land and owned vacant space available in the constructed building, which no individual person or persons can buy and/or acquire any open space, save and except the right of user of the same with other flat owners for common purpose.

1.11. ARCHITECT : Will mean and include the person or persons who may be appointed by the Developer for designing and planning of the said building.

1.12. TRANSFER : With its grammatical variations will include transfer by possession and by other means adopted for effecting what is understood as a transfer of space in multistoried building to the purchaser thereof although the same may not amount to "Transfer" in law.

1.13. TRANSFEREE : Shall mean the person/Firm/Limited / Company/Association of persons/Any other body to whom any space etc. in the building has been transferred.

1.14. WORDS : importing singular shall include plural and vice versa.

ARTICLE - II / APPOINTMENT

The Owner do hereby appoint and engage the Developer as Builder/Developer and also as his/their authorized representative for construction of a multi storied building or buildings in/

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on/upon the said plot of land comprising of apartments, shop room and/or parking space with the supervision of well known architects.

ARTICLE - III / ACCEPTANCE

The Builder/Developer has accepted such appointment and engagement and agree to complete this construction work in respect of the said premises and/or construction of new building in accordance with a sanctioned plan of the Howrah Zilla Parishad in or upon the land comprised in the said premises.

ARTICLE - IV / COMMENCEMENT

This Development Agreement will be deemed to have commenced on and from the day of execution of this Development Agreement but the tenure of this Agreement shall be 05 (five) years from the date of execution of this Agreement.

ARTICLE - V / OWNER'S RIGHT

5.1. The Owner is absolutely seized and possessed of/or otherwise well and sufficiently entitled to all that the said premises morefully described in the Schedule - 'A' hereunder written, free from all encumbrances whatsoever.

5.2. There is no excess vacant land in the said premises within the meaning of the Urban Land Ceiling and Regulation Act, 1976.

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- 5.3. There is no legal bar or otherwise for the owner to obtain the certificate under Section 230A and/or under the provisions of the Chapter - XX-C of the Income tax Act, 1961.
- 5.4. There is no attachment under the Income Tax Act, 1961, the Wealth Tax Act, 1957 or the Public Demand Recovery Act in respect of the said premises.
- 5.5. No part of the said Premises is effected by any notice of acquisition or requisition.
- 5.6. The owner has not entered into any agreement for sale/mortgage/transfer or otherwise in respect of the said land and/or premises or any portion or part thereof, with any other party till date.
- 5.7. The owner has good marketable title in respect of the said land and premises and that none other than owners, will have any right, title, interest, claim or demand whatsoever or howsoever in respect of the said land and premises or any part of the portion thereof.
- 5.8. The owner undertake to execute amalgamation Deed, Boundary Declaration Deed, General Power of Attorney as per demand by the Second party, simultaneous to the execution of this Development Agreement.
- 5.9. The Owner and Developer undertakes that the Amalgama-

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tion Deed in connection to this project and its total expenses shall be borne by the Developer.

- 5.10. The Owner and Developer undertakes that after completion of project, the registration expenses for partition in between Developer's allocation and Owner's allocation will be borne by the parties equally.

ARTICLE - VI / DEVELOPER'S RIGHT

- 6.1. The owners hereby grant permission, subject to what has been hereinafter provided the exclusive right to the Developer to build, construct, erect and complete a multistoried building on the said premises and to commercially exploit the same and to sell transfer or convey or enter into agreement for sale and/or transfer the constructed area on the said proposed construction, except owner's allocation in accordance with the Plan to be sanctioned by the Howrah Zilla Parishad and/or any other statutory body.
- 6.2. The Developer will be entitled to prepare/modify/alter the existing Sanctioned Plan and to submit the same to the Howrah Zilla Parishad in the name of the owner, subject to obtaining previous approval with the consent of the Owners and the Developer will pay and bear all fees payable to the Howrah Zilla Parishad and other bodies statutory or other-

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wise for sanction of the plan for construction of the proposed building including Architect's fees charges and expenses required to be paid for Mutation or deposited for preparation of the plan and for obtaining the sanction of the Howrah zila Parishad and for the construction of the building at the said premises, provided, however that the Developer will be exclusively entitled to all refunds of any/all payments and/or deposits made by the Developer in the name of the owner. The Developer will construct a Basement with six-storied building (B + G + 5) over the Schedule - 'A' property.

6.3. Nothing in these presents is to be construed as a devise or assignment or transfer by the owners of the said premises or any part thereof to the Developer or as for creating any right, title or interest thereof to the Developer other than an exclusive license to the Developer to commercially exploit the said premises in terms hereof and to deal with the same manner and subject to the terms hereinafter stated.

6.4. The Developer will be solely and exclusively responsible for construction with the architect and subject to the feasibility of the proposed building by the architect and subject to the reliability of the proposed construction will make all at-

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tempts to design the proposed construction of the said multistoried building without making any deviation from the sanctioned plan.

- 6.5. The Developer is/will be permitted to arrange for the installation of separate electricity supply and meter in a common meter room for the purpose of construction and erection and Developer shall bear all electricity charges, at his own cost.
- 6.6. The existing structure of the owners in the said premises will be demolished and new building be constructed in accordance with the terms of this development agreement. All liabilities and costs for demolition of old structure will be borne by the Developer and the Developer will get the right to dispose of the entire existing structure over the Schedule-'A' property.
- 6.7. The Developer/Second Party will have every right to execute any Agreement with the Owners of the Dag No. 742, 743 of Mouza - Andul, P.S. - Sankrail, District - Howrah, which will be situated at western side of the Schedule - 'A' property and the First Party will execute Development Agreement jointly with the said Owners and will also be agreed to execute an Amalgamation Deed and/or of a joint

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Development Agreement, subject to maintenance of Owner's allocation so that it is not decreased.

ARTICLE - VII

**(THE FOLLOWING POINTS ARE TO MAINTAINED/FOLLOWED AFTER
EXECUTION OF REGISTERED DEVELOPMENT AGREEMENT)**

7.1. The Developer has satisfied with regards to the title of the property as the Developer had caused all necessary searches at his own costs with regard to the marketability of the title of the property at the time of execution of this Registered Development Agreement and the owner will handover all the original documents and/or title deeds to the Developer and after completion of project as well as handing over the possession to the owner as per his allocation the Developer will return back all the original documents including sanctioned plan as received by the Developer at the time of execution of the agreement for sale accordingly.

7.2. The owner hereby undertakes to keep the Developer indemnified against all third party claims with regard to the title in respect of the said property and further undertakes not to create any encumbrances on the premises or on any part thereof, save and except the owner nobody can be entitled to deal with or disperse off his/her share of space

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in the proposed building after the plans are sanctioned and vice versa.

7.3. That the owner do hereby grant the exclusive right of development of the said premises unto and in favour of the Developer with the intent and object that the Developer will have the necessary maps or plans prepared subject to the approval of the owner by a Duly Authorized Architect for being submitted to the Howrah Zilla Parshad and other Statutory Authority or other Authorization concerned for sanction and will construct/erect and complete the Basement and a six-storied Multistoried Building thereupon, on the said premises being complete in all respect in accordance with the plan to be sanctioned by the said Authorities concerned.

7.4. That in the circumstances and in consideration of the terms and conditions contained herein and the obligations to be performed fulfilled and observed by both the owner and the Developer and further consideration of the owner having agreed to grant the exclusive right of development of the said premises to the Developer, it will be the responsibility and obligations of the Developer to comply with the terms and conditions as follows :-

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- 7.4.1. At its own costs shall obtain all necessary permission and/or approvals and/or consents.
- 7.4.2. In respect of the construction of the building to pay costs of supervision of the development and construction of the owners allocation in the building at the said premises.
- 7.4.3. To bear all costs charges and expenses for construction of the building at the said premises.
- 7.4.4. To commence the construction of the proposed building immediately i.e. within thirty (30) days from the date of Agreement and delivery of vacant possession thereof, whichever is later, and to make construction and complete the proposed building within 60 (sixty) months from the date of execution of this Agreement or getting the premises vacant in respect of the entire property from the owners whichever is later.
- 7.4.5. The Developer will not be entitled to enter into any agreement with the intending buyers in respect of transferring any portion of the owner allocation and common facilities excluding the owners.
- 7.4.6. It is, however, agreed that the Developer will not be entitled to deliver the possession of any of the flats in his allocation to his nominee or nominees and/or to anybody

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before delivery of possession of the owners allocation complete in all respect in the proposed building and/or giving notice in writing to the owner for taking such delivery of possession. The developer will have to obtain necessary permission and/or clearance certificate from the appropriate authority as may be required for the valid transfer of Developer's allocation.

7.5. That immediately after the execution of this Development Agreement the Developer shall arrange for the authentic survey, soil investigation etc. of the related land, and the Developer will appoint a duly authorized Architect for preparation of the plan for the new multistoried building on the property measuring about 20 sataks of land comprised in R.S. Dag No. 662, old L.R. Khatian No. 1155/3, 414/2, 416/1, Present Hal/L.R. Khatian No. 2776, 2777, 2778 & 2845, L.R. Dag No. 742, within Mouza - Andul, J.L. No. - 29, P.S. - Sankrail, District - Howrah, (with common passage and other easement rights).

7.6. That the Developer will construct and complete the said Multistoried building as per sanctioned plan and specification as per Schedule - 'D' as already agreed upon and will undertake full responsibility and the owner will neither be responsible nor indemnify the Developer for any incident or

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accident which may occur in the said premises due to it, as of construction activities and/or fully design and/or any other anomaly or defect whatsoever and the Developer will keep the owner fully indemnified at all times against any loss or damage which may be caused to the owners or any one else due to any accident during construction or for any unauthorized construction in deviation of the sanctioned plan and/or de to any other cause whatsoever.

7.7. That in consideration to the Developer constructing the said building and terms and conditions contained in this agreement and the obligations to be fulfilled by the Developer, the Developer will get the Developer's allocation in the said premises as described in the Schedule - 'C' hereunder and the Developer will keep the owners fully indemnified for all times to come and for all purpose and consequences whatsoever, save and except Natural Calamities.

7.8. That the Developer will construct the proposed building in the aforesaid property by constructing a (B+G+5) seven storied building thereon after obtaining proper sanctioned plan from Howrah Zilla Parishad/Authority Concerned.

7.9. To incur all costs, charges and expenses for planning, sanctioning and constructions of the said multistoried build-

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ing and/or buildings as per the Schedule - 'D' herewith including the payment of Architect's fees.

7.9.1. To get the said plan prepared and submitted to the Howrah Zilla Parishad and/or other authorities after completion of necessary searches and on owner's making out a marketable title in respect of the said property.

7.9.2. To complete the entire construction work of the proposed building at the aforesaid premises in all respects and will handover owner's allocation thereof to the present owner being fully completed and in habitable condition with all facilities and/or amenities attachment thereof as developed and provided in the Schedule - 'B' hereinafter written within 60 (sixty) months from the date of this Agreement or from the date of obtaining the delivery of vacant possession of the aforesaid property whichever is later (Save and except 1st and 2nd floor, but the owners are entitled to get the 1st and 2nd floor within 54 (Fifty Four) months from the date of this Agreement) in default, the Developer will pay penalty of Rs. 5,00,000/- to the Owner.

7.9.3. To frame rules and regulations regarding the use of the respective allocation of the space of the owner and developer or his nominee or nominees or to form the Manage-

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ment Association and/or flat owner's Association and/or society for the ultimate owner or owners of the proposed building only with the written approval and Consent of the owner.

7.9.4. The owner will execute one Amalgamation Deed in connection with the Schedule - 'A' property.

ARTICLE - VIII / DUTY OF THE DEVELOPER

(AFTER EXECUTION OF THIS DEVELOPMENT AGREEMENT)

8.1. The Developer will at his own costs construct erect and complete in all respects the said building and will allocate to the owner, together with proportionate right, title and interest in common facilities and amenities including the right to use thereof at the said premises upon construction of the said building within a period of 60 (sixty) months from the date of this Agreement getting vacant possession thereof, whichever is later.

8.2. The Developer will also construct, erect and complete at his own cost the entire common facilities and amenities for the said proposed (B+G + 5) multistoried building.

8.3. The Developer will have no right, title and interest whatsoever in the owner's allocation as described in the Schedule

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- 'B' hereunder and undivided properties, proportionate share pertaining thereof in the land and in common facilities and amenities which will solely and exclusively belong and continue to belong, to the owner and flat owners jointly.

8.4. The Developer will have no right to claim for payment or reimbursement of any cost/expenses or shares incurred towards construction of owner's allocation and of the undivided proportionate share in common facilities and amenities.

ARTICLE - IX / DEVELOPER'S ALLOCATION

(AFTER EXECUTION OF THIS DEVELOPMENT AGREEMENT)

9. In consideration of the above the Developer will be entitled to the Developer's allocation of the saleable space in the building to be constructed at the said premises together with the proportionate undivided share in the said land and also together with proportionate undivided share in the common facilities and amenities including the right to use thereof to be available at the said premises upon construction of the said building after providing for the owner's allocation and the Developer will be entitled to enter into agreement for sale and to receive and collect all money in respect thereof which will absolutely belong to the

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Developer as developer's allocation and it is hereby expressly agreed by and between the parties hereto that for the purpose of entering into such agreement it is/will not be obligatory on the part of the developer to obtain any further consent of the owner and this agreement by itself shall be treated as consent by the owner and the owner will be a party at the time of Registration of Deed of Conveyance for sale of Developer's allocation.

ARTICLE - X / PROCEDURE

10.1. The owner will execute/have simultaneously executed a Development Power of Attorney in favour of the Developer as may be required for the purpose of obtaining the sanctioned plan and all necessary permission and sanction from different authorities in connection with the constructions of the proposed (B+G+5) building also for pursuing and following up the matter with the appropriate authority or authorities, at the time of Development Agreement.

ARTICLE - XI / CONSTRUCTION

11.1. The Developer will be solely and exclusively responsible for construction of the said building. Such construction of the building will be completed entire by the Developer within 60 (sixty) months from the date of getting Agreement

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or getting vacant possession whichever is later and time in this respect (unless the same is beyond the control of the Developer) being deemed to be as the essence of the agreement between the parties after execution of Development Agreement.

11.2. the Developer will erect the said building at his own cost as per specification and drawing provided by the architect and will be bound to provide for the pump, water storage tanks, overhead reservoirs, electrification permanent electric connections and until permanent electric connection is obtained temporary electric connection which is to be provided and other facilities as per requirement, is to be provided in residential units of the multistoried building having self contained flats and constructed space for sale and/or residential flats and/or constructed space therein on ownership basis, after execution of Development Agreement.

11.3. The Developer will be authorized in the name of the owner so far as necessary to apply and obtain quotas, entitlements and other allocations of or for cement, steel, bricks and other building materials allocable to the owner for the construction of the building and to similarly apply for and obtain temporary and permanent connection of

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water, electricity power, drainage, sewerage and/or gas to the building and other inputs and facilities required for the construction of enjoyment of the building for which the owner will execute in favour of the Developer a Power of Attorney and other authorities will be required by the Developers at the time of Development Agreement.

11.4. The Developer at his own cost and expenses will obtain and without creating any financial or other liability to the owner for construction in and to complete the building and various units and/or apartments therein in accordance with the building plan and any amendment thereto of modification thereof made or caused to be made by the Developer with the consent of the owner in writing.

11.5. All costs, charges and expenses including architect's fees will be paid discharged and borne by the Developer and the owner shall have no liability in this context.

11.6. The Developer will provide at their/his own costs electricity wiring, water pipe line, sewerage, services connection, lift in proportion or the owner's allocation.

11.7. Owner is/will be liable and responsible for any outstanding tax in respect of the schedule mentioned property and cost of mutation in respect of the schedule mentioned property.

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ARTICLE - XII / COMMON FACILITIES

**(which will be maintained at the time of execution of the
Development Agreement)**

12.1. The Developer will pay and bear all property taxes and other dues and outgoing expenses in respect of the premises accordingly due as and from the date of handing over vacant possession by the owner till as provided thereafter.

12.2. As soon as the building is completed and electricity wiring, sewerage line etc. will be ready upto the portion of the owner's allocation the Developer will give in writing an intimation to the owner requiring the owner to take possession of the owner's allocation in the building and no dispute regarding the completion of the building in terms of the agreement and according to the specification and plan thereof and completion certificate to be issued by Howrah Zilla Parishad being produced to the effect, will be entertained there after 60 (sixty) days from the date of service of such intimation and at all times thereafter the owners will be responsible for the payment of all Zilla Parishad/Gram Panchayat and property taxes / rates / dues / duties and other public outgoing of and impositions whatsoever thereafter for the sake of brevity referred to as the 'Said Rates'

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payable in respect of the owner's allocation the said rates to be apportioned prorata with reference to the saleable space in the building if they are levied on the building as a whole.

12.3. The owner and the Developer will be punctually and clearly pay for his respective allocation of the said rates and taxes to the concerned authorities or otherwise as may be mutually agreed upon between the owner and the Developer and both the parties shall keep each other indemnified against all claim/action/demand/cost/charges and expenses and proceedings whatsoever directly or indirectly instituted against or suffered by or paid by either of them as the case may be consequent upon a default by the owner or the Developer in this behalf.

12.4. As from date of service of notice of possession the owner and developer will be responsible to pay and bear proportionate share of the service charge for the common facilities in the building payable by the owner and Developer's allocation and said charges to include proportionate share of premium for insurance of the building, water, fire and sewerage charges and taxes, lift facilities sanctioned and maintenance operation repair and renewal charges for

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bill collection and management of the common facilities, renovation replacement, repair and maintenance charges and expense for the building and of all common wiring pipes electrical and mechanical equipment, switch ghar, transformers, generators, pumps motors and other electrical and mechanical installation appliances and equipments stairways, corridors, halls, passage way and other common facilities proportionately whatsoever as it may.

- 12.5. The Developer will set up two separate Lift/Elevator facilities in the Schedule - 'A' building out of which, one will be used for commercial purpose and another will be used for residential purpose.

ARTICLES - XIII / PROCEEDINGS

- 13.1. It is hereby expressly agreed by and between the parties hereto that it will be the responsibility of the Developer as constituted attorney of the owner to defend all actions, suits and proceedings which may arise in respect of the development of the said premises and all costs charges and expenses incurred for that purpose with the approval of the owners will be borne and paid by the Developer after execution of the Development Agreement.

Contd.....

ARTICLE - XIV / DEVELOPER'S INDEMNITY

(WHICH WILL BE EFFECTED AFTER EXECUTION OF DEVELOPMENT AGREEMENT)

14.1. The Developer hereby undertakes to keep the owner indemnified against all third party claims and actions arising out of any sort of act or commissions of the Developer in or relating to the construction of the said building.

14.2. The Developer hereby undertakes to keep the owner indemnified against all petition, suits, costs, proceedings and claims that may out of the Developer's action and/or in the manner of construction, agreement for sale of the said building and/or any defect thereon, arise during the period of construction.

ARTICLE - XIV / MISCELLANEOUS

15.1. The owner and the Developer have entered into this Development Agreement purely as a contract and nothing contained herein will be deemed to be construed as partnership between the Developer and the Owner or as a joint venture between the parties hereto in any manner nor the parties hereto will constitute as an association of persons.

15.2. It is understood that from time to time in order to facilitate the construction of the proposed building by the

Contd.....

(29)

Developer various deeds matter and things not herein specified may be required to be done by the Developer and for which the Developer may need the authority of the owner for various applications and other documents will be required to get signed or made by the owners relative to which specific provisions will not have been mentioned herein and the owner hereby undertakes to do all such notes, deeds, matters and things that may be reasonably required to be done in the matter and the owner will execute any such additional Power of Attorney and/or authorizations as may be required by the Developer for the purpose and the owners will sign and execute all such additional applications and other documents as the case may not infringe the rights of the owner and/or do not go against the spirit of this agreement and same will be effected after execution of the Registered Development Agreement.

15.3. Both the Developer and the owner will frame a schedule for the agreement and administration of the said building or proposed flats of the building and/or common parts thereof. The owner hereby agree to abide by all the rules and regulations as such management /society / association /

Contd.....

(30)

holding organization do hereby give his consent to abide by the same.

15.3.1. Both the parties further agreed that if the owners/1st Party want to purchase of First and Second Floor additional area from the Developer's allocation share, in that event the 1st Party shall be liable to pay @ Rs. 4,500/- per sq. ft. for that additional area to the Developer .

15.4. The owner undertakes and agrees to execute and relate all conveyance and transfer in favour of the persons with whom the Developer entered into agreement as and when required by the Developer (the stamp duty of Registration Fees and all other expenses towards the registration will be borne by the Purchaser and/or its nominees and assigns) and the Developer will be confirming party in all such conveyance if it be necessary as and when required by the Developer or the owner which will be effected after execution of the Registered Development Agreement.

15.5. If the Promoter/Developer is unable to complete/ give/ deliver Khas possession of the complete floor, space, in the said building to the owner in a good and habitable

Contd.....

conditions within the period of 60 (sixty) months as aforesaid for any reasons beyond control of the promoter to the satisfaction of the owner, such time shall be extended for such period not exceeding six months thereafter. If the Promoter/Developer fails to deliver the possession of the proposed flat within the aforesaid period, i.e. sixty six (66) months from the date and time as specifically aforementioned, then the owner shall have the right to sue the Developer and his men and agents for breach of specific performance of contract under relevant provisions of the Specific Relief Act and the same will be effected after execution of the Development Agreement.

15.6. Notwithstanding anything contained hereinabove, the Developer will completely satisfy the owner's allocation as per Schedule - 'B' hereunder before handing over possession of any area in the Developer's allocation to any other purchasers as per terms and conditions of Development Agreement.

15.7. After getting sanctioned plan from Howrah Zilla Parishad the owner will hand over the possession of the Schedule - 'A' mentioned property to the Developer and old construction will be demolished by the Developer and all the debris

Contd.....

(32)

and other material will be sold out and/or utilized by the Developer only and the owner shall not interfere in that disposal regards.

15.8. If the Developer will hand over the other flat mentioned earlier within the stipulated time, then the owners will be entitled for damages from the Developers.

ARTICLE - XVI / FORCE MAJURE

(TO BE FOLLOWED IN/AFTER EXECUTION OF DEVELOPMENT AGREEMENT)

16.1. The Developer will not be considered to be liable for any obligations hereunder to the extent that the performance of the relevant obligations are prevented by the existence of the force majeure and will be suspended from the obligations during the duration of the force majeure.

16.2. Force Majeure means and refers to natural calamities like flood, earthquake, riot, wars, storm, civil / common / transport strike and such commissions of unforeseen incidents which are beyond the control of the Developer.

:-: SCHEDULE - 'A' ABOVE REFERRED TO :-:

(ENTIRE PROPERTY)

ALL THAT piece and parcel of landed property measuring more or less 20 sataks of **BASTU** land in R.S. Khatian No. 433,

Contd.....

(33)

R.S. Dag No. 662, old L.R. Khatian No. 1155/3, 414/2, 416/1, Present Hal/L.R. Khatian No. 2776, 2777, 2778 & 2845, L.R. Dag No. 742, within Mouza - Andul, J.L. No. - 29, P.S. - Sankrail, District-Howrah, under ADSR Ranihati DSR Howrah, which is butted and bounded by metes and bounds as follows:-

- IN THE NORTH :** Andul Road.
IN THE SOUTH : Land of Smt. Rita Ghosh & Others.
IN THE EAST : Common passage.
IN THE WEST : Dag No. 662 (P), 663 (P).

--: SCHEDULE - 'B' ABOVE REFERRED TO ::-

(OWNER'S ALLOCATION)

50% of the proposed construction area (B+G+5) building over the Schedule - 'A' property North-East side.

SCHEDULE - 'C' ABOVE REFERRED TO

(DEVELOPER'S ALLOCATION)

50% of the total constructed area of the proposed (B+G+5) building save and except the Owner's allocated portion as described in the Schedule - 'B' over the Schedule - 'A' property.

SCHEDULE - 'D' ABOVE REFERRED TO

(GENERAL SPECIFICATION)

1. The building will be in first class RCC framework and

Contd.....

having outer walls in 10" thick first class bricks and all partition walls 6" thick in cement mortar or as specified by the Architects.

2. All ROOFINGS will be completed with roof treatment.
3. All DOORS will be finished door with Power Bolts and door bolts and the main door will be made of good quality of "PLYWOOD" and fitted with Hash - Bolt only and all windows will be made of Aluminum with Glaze shutter provided with MS GRILL.
4. i) All TOILETS will have complete chainware fittings, wash basins, C.P. fittings, high shower, water connection, etc.
ii) Glazed tiles in BATHROOM will be fitted upto 6 ft. height from soiling / Floor.
5. The apartments will have completed **CONCEALED WIRINGS** with adequate light points, power points, TV points and earthing etc.
6. **ALL KITCHENS** will be completed with marble floor and glazed tiles upto and over the cooking platform for 3 feet.
7. Adequate light points for general lighting will be provided, all electrical wiring will be concealed.
8. Proper Boundary Walls and Boundary Walls Gate will be made as per design given by the Architects.

Contd.....

9. All internal Wall and ceiling will be cemented and plastered with Plaster of Paris of best quality.
10. FLOORING will be completed with Floor Tiles 2' × 2' feet.
11. 24 hours water supply from underground reservoir or artificial tanks overhead, shall be provided for.
12. For all other extra job excluding as mentioned above are to be charged extra from the demanding party.

-:: SCHEDULE - 'E' ::-

(COMMON PORTIONS)

1. Staircase on all the floors.
2. Staircase landing on the floor and elevation facilities/LIFT.
3. Common Passage.
4. Water pump, water tank, water pipes and other common plumbing installation.
5. Drainage and sewerage.
6. Pump house.
7. Electric main Meter Room.
8. Boundary walls and main gates.
9. Elevator must be at least two in number in 2 entrances and preferably of OTIS.

IN WITNESS WHEREOF We, the Parties of this Agreement have put our respective signature and seals on this the 14th August 2020 first above written.

SIGNED, SEALED & DELIVERED

In the presence of :

WITNESSES :




- 1. Partha Das
vii+po - Andul Mouzi
Howrah 711302
- 2. Gourab Mondal
vii+po - Andul Mouzi
Howrah 711302
- 3. Madhu Sudaniguna
Chakraborty
P.S. Tamulak.
Purbu Wdnapur -

- 1. Gun Ban Das
- 2. मिश्र शिवाजी रॉय
- 3. Snehasis maity
- 4. Debasis Maity.

Gun Ban Das

SIGNATURE OF THE FIRST PARTY/

OWNERS

- 1. 
Sibalakata Manne,
Partner
- 2. 
Koushik Chatterjee
Partner
- 3. 
Mita Senia.
Partner

Drafted by me and prepared in my office.

Pannaj Kumar Saha

Advocate
Regd no. WB-679/1991



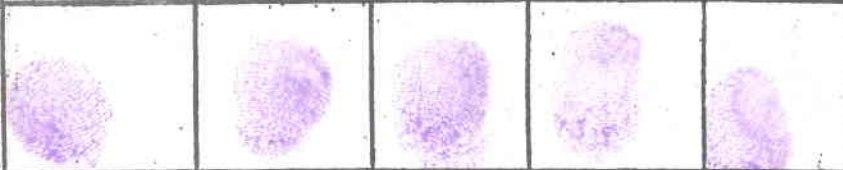
Computer Composed by

Sponker Samanta



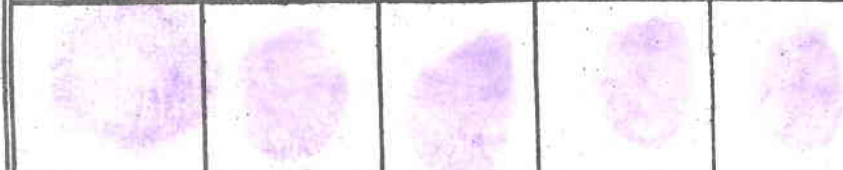
SIGNATURE OF THE SECOND PARTY/

DEVELOPERS




FORM FOR TEN FINGER IMPRESSION

	Left Hand	Little	Ring	Middle	Fore	Thumb
						
Right Hand	Thumb	Fore	Middle	Ring	Little	
						

Signature Sam Kim My




	Left Hand	Little	Ring	Middle	Fore	Thumb
						
Right Hand	Thumb	Fore	Middle	Ring	Little	
						

Signature အမေအိမ်အိမ်




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Right Hand	Thumb	Fore	Middle	Ring	Little	
						

Signature Snehasis Maiti


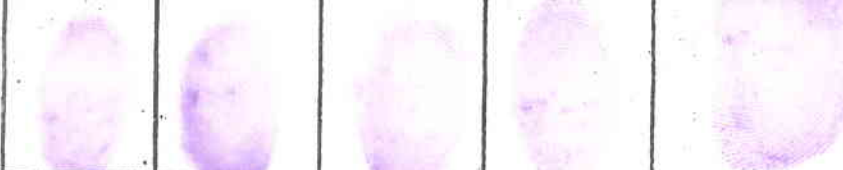
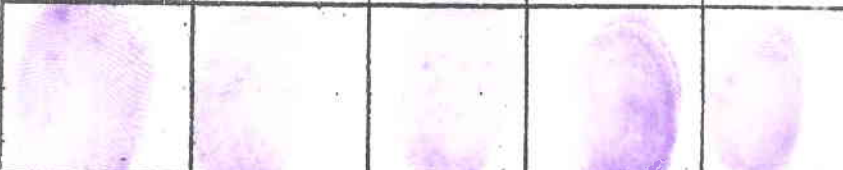
FORM FOR TEN FINGER IMPRESSION

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Right Hand	Thumb	Fore	Middle	Ring	Little	
						

Signature Debasis Maity








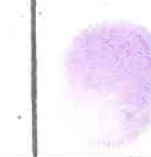
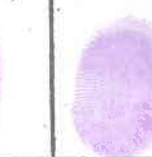

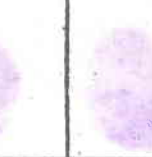
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Signature Delebrate Manne

	Left Hand	Little	Ring	Middle	Fore	Thumb
						
Right Hand	Thumb	Fore	Middle	Ring	Little	
						

Signature Koushik Bhattacharya

FORM FOR TEN FINGER IMPRESSION

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	Right Hand	Thumb	Fore	Middle	Ring	Little	
							

Signature Mita Senaia

Photo	Left Hand	Little	Ring	Middle	Fore	Thumb
	Right Hand	Thumb	Fore	Middle	Ring	Little

Signature _____

Photo	Left Hand	Little	Ring	Middle	Fore	Thumb
	Right Hand	Thumb	Fore	Middle	Ring	Little

Signature _____



Govt. of West Bengal
Directorate of Registration & Stamp Revenue
e-Challan

GRN: 192020210050975531

Payment Mode Online Payment

GRN Date: 31/07/2020 13:46:40

Bank : State Bank of India

BRN : IK0AQASHF1

BRN Date: 31/07/2020 13:47:33

DEPOSITOR'S DETAILS

Id No. : 2000858445/2/2020

[Query No./Query Year]

Name : DEBEBRATA MANNA AND OTHERS

Contact No. : Mobile No. : +91 9748799284

E-mail :

Address : JUJERSAHA MANNAPARA PACCHLA HOWRAH

Applicant Name : Mr Pankaj Kumar Datta

Office Name :

Office Address :

Status of Depositor : Buyer/Claimants

Purpose of payment / Remarks : Sale, Development Agreement or Construction agreement

PAYMENT DETAILS

Sl. No.	Identification No.	Head of A/C Description	Head of A/C	Amount[₹]
1	2000858445/2/2020	Property Registration- Stamp duty	0030-02-103-003-02	10010
2	2000858445/2/2020	Property Registration- Registration Fees	0030-03-104-001-16	14

Total

10024

In Words : Rupees Ten Thousand Twenty Four only








Government of West Bengal

Department of Finance (Revenue) , Directorate of Registration and Stamp Revenue



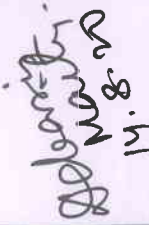





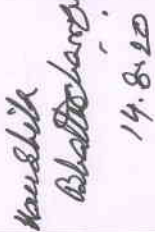



OFFICE OF THE D.S.R. - II HOWRAH, District Name :Howrah

Signature / LTI Sheet of Query No/Year 05132000858445/2020

I. Signature of the Person(s) admitting the Execution at Private Residence.

SI No.	Name of the Executant	Category	Photo	Finger Print	Signature with date
1	Mr Gourhari Maity Andul, Purbapara, P.O:- Andul Mouri, P.S:- Sankrail, District:- Howrah, West Bengal, India, PIN - 711302	Land Lord			Gourhari Maity 14.8.20
2	Mrs Padmarani Maity Andul, Purbapara, P.O:- Andul Mouri, P.S:- Sankrail, District:- Howrah, West Bengal, India, PIN - 711302	Land Lord			Padmarani Maity 28-6-20
3	Mr Snehasish Maity Andul Purbapara, P.O:- Andul Mouri, P.S:- Sankrail, District:- Howrah, West Bengal, India, PIN - 711302	Land Lord			Snehasish Maity 14.8.20

I. Signature of the Person(s) admitting the Execution at Private Residence.

SI No.	Name of the Executant	Category	Photo	Finger Print	Signature with date
4	Mr Debasish Maity Andul Purbapara, P.O:- Andul Mouri, P.S:- Sankrail, District:- Howrah, West Bengal, India, PIN - 711302	Land Lord			 14.8.20
5	Mr Debebrata Manna Jujersaha Mannapara, P.O:- Jujersaha, P.S:- Panchla, District:- Howrah, West Bengal, India, PIN - 711302	Represent ative of Developer [DESIRE CONSTR UCTION]			 14-08-2020
6	Mr Koushik Bhattacharya Andul Purbapara, P.O:- Andul Mouri, P.S:- Sankrail, District:- Howrah, West Bengal, India, PIN - 711302	Represent ative of Developer [DESIRE CONSTR UCTION]			 14.8.20
7	Smt Mita Denria Jujarsaha, Manna Para, P.O:- Jujarsaha, P.S:- Panchla, District:- Howrah, West Bengal, India, PIN - 711302	Represent ative of Developer [DESIRE CONSTR UCTION]			 14.8.20

Sl No.	Name and Address of identifier	Identifier of	Photo	Finger Print	Signature with date
1	Mr Subrata Guha Son of Late Sushil Kumar Guha Andul Purbapara, P.O:- Andul Mouri, P.S:- Panchla, District:-Howrah, West Bengal, India, PIN - 711302	Mr Gourhari Maity, Mrs Padmarani Maity, Mr Snehasish Maity, Mr Debasish Maity, Mr Debebrata Manna, Mr Koushik Bhattacharya, Smt Mita Denria			<i>Subrata Guha</i> 14.08.2020

(Panchali Munshi)
DISTRICT SUB-
REGISTRAR
OFFICE OF THE D.S.R. -
II HOWRAH
Howrah, West Bengal

आयकर विभाग
INCOME TAX DEPARTMENT

भारत सरकार
GOVT. OF INDIA

GOURHARI MAITY
GUNADHAR MAITY
15/04/1942
Permanent Account Number
AIUPM5785A

Gun Hari Maity
Signature



Gun Hari Maity



सत्यमेव जयते
সত্যং জয়তে



आधार

ভারতীয় বিশিষ্ট পরিচয় প্রাধিকার

ভারত সরকার

Unique Identification Authority of India

Government of India

তালিকাভুক্তির আই ডি / Enrollment No.: 2010/19316/04594

To
গৌরহরি মাইতি
GOURHARI MAITY
S/O Gunadhar Maity
Andul

Andul-Mouri
Haora
West Bengal 711302

08/06/2013
24841008



MN248410084FT



আপনার আধার সংখ্যা / Your Aadhaar No. :

3724 3206 9633

আধার - সাধারণ মানুষের অধিকার



ভারত সরকার

Government of India



গৌরহরি মাইতি
GOURHARI MAITY
পিতা : গুনধর মাইতি
Father : GUNADHAR MAITY
জন্ম সাল / Year of Birth : 1944
পুরুষ / Male



3724 3206 9633

আধার - সাধারণ মানুষের অধিকার

Gourhari Maity

आयकर विभाग
INCOME TAX DEPARTMENT

भारत सरकार
GOVT. OF INDIA

PADMARANI MAITY
PANCHANAN JANA
27/02/1955
Permanent Account Number
AIXPM1203G

Signature



पद्मरानी मजु



भारतीय विशिष्ट पहचान प्राधिकरण
भारत सरकार
 Unique Identification Authority of India
 Government of India

नामांकन क्रम/ Enrolment No.: 1408/78823/15312

To
 पद्मराणी माईति
 Padmarani Maity
 W/O Gourhari Maity
 Andul
 Andul-Mouri
 Haora West Bengal - 711302
 9874882768

Download Date: 12/09/2017

Generation Date: 19/08/2017



Signature valid

आधार का आधिकारिक संकेत / Your Aadhaar No. :

7914 5889 1043

मेरा आधार, मेरी पहचान

सूचना

- आधार पहचान का प्रमाण है, नागरिकता का नहीं |
- पहचान का प्रमाण ऑनलाइन ऑथेंटिकेशन द्वारा प्राप्त करें |
- यह एक इलेक्ट्रॉनिक प्रक्रिया द्वारा बना हुआ पत्र है |

INFORMATION

- Aadhaar is a proof of identity, not of citizenship.
- To establish identity, authenticate online.
- This is electronically generated letter.

- आधार देश भर में मान्य है ।
- आधार भविष्य में सरकारी और गैर-सरकारी सेवाओं का लाभ उठाने में उपयोगी होगा ।
- Aadhaar is valid throughout the country .
- Aadhaar will be helpful in availing Government and Non-Government services in future .



भारत सरकार
 Government of India



पद्मराणी माईति
 Padmarani Maity
 जन्म तिथि/DOB: 27/02/1955
 महिला/ FEMALE



7914 5889 1043

मेरा आधार, मेरी पहचान



भारतीय विशिष्ट पहचान प्राधिकरण
 Unique Identification Authority of India

Address:
 W/O Gourhari Maity, Andul,
 Haora,
 West Bengal - 711302

पता:
 W/O गौरहरी माईति, आन्दुल मौड़ी,
 हाउड़ा,
 पश्चिमवङ्ग - 711302

7914 5889 1043

पद्मराणी माईति



आयकर विभाग
INCOME TAX DEPARTMENT

भारत सरकार
GOVT. OF INDIA

SNEHASIS MAITY
GAURHARI MAITY

17/07/1988
Permanent Account Number
ATVPM2915N

Snehasis Maity
Signature



Snehasis maity



ভারতীয় বিশিষ্ট পরিচয় প্রাধিকরণ

ভারত সরকার

Unique Identification Authority of India
Government of India

তালিকাভুক্তির আই ডি / Enrollment No. : 2010/19281/06573

06/11/2012

To
Snehasis Maity
স্নেহশীষ মাইতি
S/O Gourhari Maity
Andul
Andul-Mouri, Haora
West Bengal - 711302



KL170546864DF

17054686



আপনার আধার সংখ্যা/ Your Aadhaar No. :

9009 1743 3721

আধার - সাধারণ মানুষের অধিকার



ভারত সরকার

GOVERNMENT OF INDIA



স্নেহশীষ মাইতি
Snehasis Maity
পিতা : গৌরহরি মাইতি
Father : GOURHARI MAITY

জন্ম সাল/Year of Birth: 1988

পুরুষ : Male

9009 1743 3721



আধার - সাধারণ মানুষের অধিকার

Snehasis maity



आयकर विभाग
INCOME TAX DEPARTMENT

भारत सरकार
GOVT. OF INDIA

DEBASIS MAITY
GAURHARI MAITY

20/06/1987
Permanent Account Number
ATVPM2914P

Debasis Maity
Signature



Debasis Maity.



ভারতীয় বিশিষ্ট পরিচয় প্রাধিকরণ

ভারত সরকার

Unique Identification Authority of India
Government of India

তালিকাভুক্তির আই ডি / Enrollment No. : 2010/19281/06572

06/11/2012

To
Debasis Maity
দেবাসীষ মাইতি
S/O Gourhari Maity
Andul
Andul-Mouri, Haora
West Bengal - 711302



KL170535756DF
17053575



আপনার আধার সংখ্যা/ Your Aadhaar No. :

2389 1552 3781

আধার - সাধারণ মানুষের অধিকার



ভারত সরকার

GOVERNMENT OF INDIA



দেবাসীষ মাইতি
Debasis Maity
পিতা : গৌরহরি মাইতি
Father : GOURHARI MAITY

জন্ম সাল/Year of Birth: 1987
পুরুষ / Male

2389 1552 3781



আধার - সাধারণ মানুষের অধিকার

Debasis Maity

स्थायी लेखा संख्या /PERMANENT ACCOUNT NUMBER

AHOPM0609E



नाम /NAME

DEBABRATA MANNA

पिता का नाम /FATHER'S NAME

DIPAK KUMAR MANNA

जन्म तिथि /DATE OF BIRTH

02-11-1975

हस्ताक्षर /SIGNATURE

D. Manne

Debabrata Manne

आयकर आयुक्त, (कम्प्यू. अपा.), कोल.
COMMISSIONER OF INCOME-TAX(C.O.), KOLKATA

Debabrata Manne,



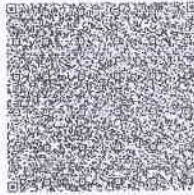
ভারত সরকার
Unique Identification Authority of India
Government of India

তালিকাভুক্তির নম্বর/ Enrolment No.: 1528/64600/16980

To
দেবব্রত মন্না
Debabrata Manna
S/O Dipak Kumar Manna
-
-
-
manna para
Jujarsaha
Jujursa
Howrah West Bengal - 711302
9874283283

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QR Code with Photograph

আপনার আধার সংখ্যা / Your Aadhaar No. :

5405 3434 7261

আমার আধার, আমার পরিচয়



ভারত সরকার
Government of India



দেবব্রত মন্না
Debabrata Manna
জন্মতারিখ/DOB: 02/11/1975
পুংসক/ MALE

5405 3434 7261



আমার আধার, আমার পরিচয়



ভারতীয় বিশিষ্ট পরিচয় প্রদিকরণ
Unique Identification Authority of India

ঠিকানা:
S/O দীপক কুমার মন্না, - , - , মন্না পড়া, যুজারসাহা,
হুওরা,
পশ্চিম বঙ্গ - 711302

Address:
S/O Dipak Kumar Manna, - , - , manna para,
Jujarsaha, Howrah,
West Bengal - 711302



QR Code with Photograph

5405 3434 7261



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- তথ্য
- আধার পরিচয়ের প্রমাণ, নাগরিকত্বের প্রমাণ নয়
 - পরিচয়ের প্রমাণ অনলাইন অথেন্টিকেশন দ্বারা লাভ করণ
 - এটা এক ইলেক্ট্রনিক প্রক্রিয়ায় তৈরী পত্র

INFORMATION

- Aadhaar is a proof of identity, not of citizenship.
- To establish identity, authenticate online.
- This is electronically generated letter.

■ আধার সারা দেশে মান্য।

■ আধার ভবিষ্যতে সরকারী ও বেসরকারী পরিষেবা প্রাপ্তির সহায়ক হবে।

■ Aadhaar is valid throughout the country .

■ Aadhaar will be helpful in availing Government and Non-Government services in future .

Debabrata Manne .



ELECTION COMMISSION OF INDIA

ভারতের নিবাচন কমিশন

IDENTITY CARD
পরিচয় পত্র

WB/26/168/288213



Elector's Name	Manna Debabrata
নিবাচকের নাম	মান্না দেবব্রত
Father / Mother / Husband's Name	Dipak
পিতা / মাতা / স্বামীর নাম	দীপক
Sex	Male
লিঙ্গ	পুরুষ
Age as on 1.1.1995	18
১.১.১৯৯৫ এ বয়স	১৮

Address

Jujarsaha - 8
Jujarsaha
Panchla
Sadar, Howrah
ঠিকানা
জুজারসাহা - ৮
জুজারসাহা
পাঁচলা
সদর, হাওড়া

Manna Debabrata

Facsimile Signature
Electoral Registration Officer
নিবাচক-নিবন্ধন আধিকারিক

For 168
১৬৮

Panchla Assembly Constituency
পাঁচলা বিধানসভা নিবাচন ক্ষেত্র

Place	Howrah
স্থান	হাওড়া
Date	12/03/95
তারিখ	১২/০৩/৯৫

Debabrata Manna

आयकर विभाग
INCOME TAX DEPARTMENT



भारत सरकार
GOVT. OF INDIA

MITA DENRIA
MURARI MOHAN MONDAL
28/05/1983

Permanent Account Number
AUIPD3084B

Mita Denria
Signature



In case this card is lost / found, kindly inform / return to :
Income Tax PAN Services Unit, I/TISL
Plot No. 3, Sector 11, CBD Belapur,
Navi Mumbai - 400 614.

इस कार्ड के खोने/पाने पर कृपया सूचित करें, लौटाएं :
आयकर पैन सेवा यूनिट, ए.टी.एस.एल.
प्लॉट नं. 3, सेक्टर 11, सी.बी.डी. बेलपुर,
नवी मुंबई-400 614.

Mita Denria



ଭାରତ ସରକାର
GOVERNMENT OF INDIA



ମିତା ଦେନରିଆ
Mita Denria
ଜନ୍ମ ବର୍ଷ / Year of Birth : 1983
ମହିଳା / Female



5225 5568 4806

ଆଧାର - ସାଧାରଣ ଜନତାର ଅଧିକାର



ଭାରତୀୟ ବିଭିନ୍ନ ପରିଚୟ କର୍ତ୍ତୃପକ୍ଷ
UNIQUE IDENTIFICATION AUTHORITY OF INDIA

ଠିକଣା:
W/O ରାଜ କୁମାର ଦେନରିଆ, ନିଉ
କୋଲକାତା ସୁଇଟ୍ସ, ସିତାମ ଚକ, ଗଣେଶ
ପେଡାଲ ପାଖରେ, ସିତାମ ଚକ, ଛତାପା, ଜଗତୀ,
ଭଟ୍ଟାଚାର୍ଯ୍ୟ, ଖୋର୍ଦ୍ଧା, ଓଡ଼ିଶା, 752050

Address:
W/O Raj Kumar Denria, New
Kolkata Sweets, Sitaram
Chhak, Near Ganesh
Pental, Sitaram Chhak,
Jatani, Jatni, Khordha,
Orissa. 752050



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1800 180 1947



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www.uidai.gov.in



PO Box No 194
Bangalore-560 007

Mita Denria



भारत सरकार
GOVERNMENT OF INDIA



কৌশিক ভট্টাচারিয়া
Koushik Bhattacharya
জন্মতারিখ/ DOB: 10/12/1967
পুরুষ / MALE



6123 7632 6720

আমার আধার, আমার পরিচয়



भारतीय विशिष्ट पहचान प्राधिकरण
UNIQUE IDENTIFICATION AUTHORITY OF INDIA

ঠিকানা:

C/O কৌশিক ভট্টাচারিয়া, আন্দুল
(সি টি), হাওড়া,
পশ্চিমবঙ্গ - 711302

Address

C/O Koushik
Bhattacharya, Andul,
Haora,
West Bengal - 711302



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P.O. Box No. 1947,
Bengaluru-560 001

Koushik Bhattacharya



ভারতের নির্বাচন কমিশন
পরিচয় পত্র
ELECTION COMMISSION OF INDIA
IDENTITY CARD

WB/24/169/171324



নির্বাচকের নাম : কৌশিক ভট্টাচার্য
Elector's Name : Koushik Bhattacharya
পিতার নাম : রাধাকান্ত ভট্টাচার্য
Father's Name : Radhakanta
Bhattacharya
লিঙ্গ/Sex : পুং/ M
জন্ম তারিখ
Date of Birth : 10/12/1967

WB/24/169/171324

ঠিকানা:

আব্দুল পূর্ব পাড়া, আব্দুল মৌরী, সানক্রাইল, হাওড়া-
711302

Address:

ANDUL PURBA PARA, ANDUL MOURI,
SANKRAIL, HOWRAH- 711302

Date: 15/07/2014

174-সানক্রাইল (তপশিলী জাতি) নির্বাচন কেন্দ্রের নির্বাচক

সিদ্ধান্ত আধিকারিকের স্বাক্ষরের অনুকৃতি

Facsimile Signature of the Electoral
Registration Officer for

174-Sankrail (SC) Constituency

টিকনা পরিবর্তন হলে নতুন ঠিকনার জেরার নিম্নে নাম কেশ ও একই
নম্বরের নতুন খতি পত্রের পর পাওয়ার জন্য নির্দিষ্ট ফর্মে এই
পত্রের নম্বরটি উল্লেখ করুন।
In case of change in address mention this Card No.
in the relevant Form for including your name in the
roll at the changed address and to obtain the card
with same number.

02/05/99

Koushik Bhattacharya

आयकर विभाग
INCOME TAX DEPARTMENT


भारत सरकार
GOVT. OF INDIA

कौशिक भट्टाचार्या
RADHAKANTA BHATTACHARYA

10/12/1967
Permanent Account Number
ALMPB6615K

Kaushik Bhattacharya
Signature

20-10-2006



Kaushik Bhattacharya



भारत सरकार
GOVERNMENT OF INDIA



সুব্রত গুহ

SUBRATA GUHA

জন্মতারিখ/ DOB: 01/06/1971

পুরুষ / MALE



9487 1370 8303

आधार - साधारण मानुषेर अधिकार

Subrata Guha



भारतीय विशिष्ट पहचान प्राधिकरण
UNIQUE IDENTIFICATION AUTHORITY OF INDIA

ঠিকানা:

Address

C/O সুব্রত গুহ, পূর্বপাড়া,
আন্দুল, হাওড়া,
পশ্চিমবঙ্গ - 711302

C/O Subrata Guha,
PURBAPARA, Andul,
Haora,
West Bengal - 711302



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P.O. Box No. 1947,
Bengaluru-560 001

Major Information of the Deed

Deed No :	I-0513-02857/2020	Date of Registration	17/08/2020
Query No / Year	0513-2000858445/2020	Office where deed is registered	
Query Date	25/07/2020 6:07:32 PM	0513-2000858445/2020	
Applicant Name, Address & Other Details	Pankaj Kumar Datta Howrah Court,Thana : Howrah, District : Howrah, WEST BENGAL, PIN - 711101, Mobile No. : 9748799284, Status :Advocate		
Transaction	Additional Transaction		
[0110] Sale, Development Agreement or Construction agreement	[4305] Other than Immovable Property, Declaration [No of Declaration : 1]		
Set Forth value	Market Value		
Rs. 84,00,000/-	Rs. 84,00,000/-		
Stampduty Paid(SD)	Registration Fee Paid		
Rs. 10,060/- (Article:48(g))	Rs. 46/- (Article:E, E, M(b), H)		
Remarks			

Land Details :

District: Howrah, P.S:- Sankrail, Gram Panchayat: ANDUL, Mouza: Andul, JI No: 29, Pin Code : 711302

Sch No	Plot Number	Khatian Number	Land Proposed	Use ROR	Area of Land	SetForth Value (In Rs.)	Market Value (In Rs.)	Other Details
L1	LR-742 (RS :-)	LR-2777	Bastu	Bastu	5 Dec	21,00,000/-	21,00,000/-	Width of Approach Road: 30 Ft., Adjacent to Metal Road,
L2	LR-742 (RS :-)	LR-2776	Bastu	Bastu	5 Dec	21,00,000/-	21,00,000/-	Width of Approach Road: 30 Ft., Adjacent to Metal Road,
L3	LR-742 (RS :-)	LR-2778	Bastu	Bastu	5 Dec	21,00,000/-	21,00,000/-	Width of Approach Road: 30 Ft., Adjacent to Metal Road,
L4	LR-742 (RS :-)	LR-2845	Bastu	Bastu	5 Dec	21,00,000/-	21,00,000/-	Width of Approach Road: 30 Ft., Adjacent to Metal Road,
		TOTAL :			20Dec	84,00,000 /-	84,00,000 /-	
	Grand Total :				20Dec	84,00,000 /-	84,00,000 /-	

Land Lord Details :

SI No	Name,Address,Photo,Finger print and Signature
1	Mr Gourhari Maity (Presentant) Son of Late Gunadhar Maity Andul, Purbapara, P.O:- Andul Mouri, P.S:- Sankrail, District:-Howrah, West Bengal, India, PIN - 711302 Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, PAN No.:: Alxxxxxx5A, Aadhaar No: 37xxxxxxx9633, Status :Individual, Executed by: Self, Date of Execution: 14/08/2020 , Admitted by: Self, Date of Admission: 14/08/2020 ,Place : Pvt. Residence, Executed by: Self, Date of Execution: 14/08/2020 , Admitted by: Self, Date of Admission: 14/08/2020 ,Place : Pvt. Residence
2	Mrs Padmarani Maity Wife of Mr Gourhari Maity Andul, Purbapara, P.O:- Andul Mouri, P.S:- Sankrail, District:-Howrah, West Bengal, India, PIN - 711302 Sex: Female, By Caste: Hindu, Occupation: Business, Citizen of: India, PAN No.:: Alxxxxxx3G, Aadhaar No: 79xxxxxxx1043, Status :Individual, Executed by: Self, Date of Execution: 14/08/2020 , Admitted by: Self, Date of Admission: 14/08/2020 ,Place : Pvt. Residence, Executed by: Self, Date of Execution: 14/08/2020 , Admitted by: Self, Date of Admission: 14/08/2020 ,Place : Pvt. Residence
3	Mr Snehasish Maity Son of Mr Gourhari Maity Andul Purbapara, P.O:- Andul Mouri, P.S:- Sankrail, District:-Howrah, West Bengal, India, PIN - 711302 Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, PAN No.:: ATxxxxxx5N, Aadhaar No: 90xxxxxxx3721, Status :Individual, Executed by: Self, Date of Execution: 14/08/2020 , Admitted by: Self, Date of Admission: 14/08/2020 ,Place : Pvt. Residence, Executed by: Self, Date of Execution: 14/08/2020 , Admitted by: Self, Date of Admission: 14/08/2020 ,Place : Pvt. Residence
4	Mr Debasish Maity Son of Mr Gourhari Maity Andul Purbapara, P.O:- Andul Mouri, P.S:- Sankrail, District:-Howrah, West Bengal, India, PIN - 711302 Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, PAN No.:: ATxxxxxx4P, Aadhaar No: 23xxxxxxx3781, Status :Individual, Executed by: Self, Date of Execution: 14/08/2020 , Admitted by: Self, Date of Admission: 14/08/2020 ,Place : Pvt. Residence, Executed by: Self, Date of Execution: 14/08/2020 , Admitted by: Self, Date of Admission: 14/08/2020 ,Place : Pvt. Residence

Developer Details :

SI No	Name,Address,Photo,Finger print and Signature
1	DESIRE CONSTRUCTION Andul Purbapara, P.O:- Howrah, P.S:- Howrah, District:-Howrah, West Bengal, India, PIN - 711101 , PAN No.:: AAxxxxxx6B,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative

Representative Details :

SI No	Name,Address,Photo,Finger print and Signature
1	Mr Debebrata Manna Son of Mr Deepak Kumar Manna Jujersaha Mannapara, P.O:- Jujersaha, P.S:- Panchla, District:-Howrah, West Bengal, India, PIN - 711302, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, PAN No.:: AHxxxxxx9E, Aadhaar No: 54xxxxxxx7261 Status : Representative, Representative of : DESIRE CONSTRUCTION (as partner)
2	Mr Koushik Bhattacharya Son of Late Radha Kanta Bhattacharya Andul Purbapara, P.O:- Andul Mouri, P.S:- Sankrail, District:-Howrah, West Bengal, India, PIN - 711302, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, PAN No.:: ALxxxxxx5K, Aadhaar No: 61xxxxxxx6720 Status : Representative, Representative of : DESIRE CONSTRUCTION (as partner)

3	Smt Mita Denria Wife of Mr Rajkumar Denria Jujarsaha, Manna Para, P.O:- Jujarsaha, P.S:- Panchla, District:-Howrah, West Bengal, India, PIN - 711302, Sex: Female, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.:: AUxxxxxx4B, Aadhaar No: 52xxxxxxxx4806 Status : Representative, Representative of : DESIRE CONSTRUCTION (as partner)
---	---

Identifier Details :

Name	Photo	Finger Print	Signature
Mr Subrata Guha Son of Late Sushil Kumar Guha Andul Purbapara, P.O:- Andul Mouri, P.S:- Panchla, District:-Howrah, West Bengal, India, PIN - 711302			

Identifier Of Mr Gourhari Maity, Mrs Padmarani Maity, Mr Snehasish Maity, Mr Debasish Maity, Mr Debebrata Manna, Mr Koushik Bhattacharya, Smt Mita Denria

Transfer of property for L1

Sl.No	From	To. with area (Name-Area)
1	Mr Gourhari Maity	DESIRE CONSTRUCTION-1.25 Dec
2	Mrs Padmarani Maity	DESIRE CONSTRUCTION-1.25 Dec
3	Mr Snehasish Maity	DESIRE CONSTRUCTION-1.25 Dec
4	Mr Debasish Maity	DESIRE CONSTRUCTION-1.25 Dec

Transfer of property for L2

Sl.No	From	To. with area (Name-Area)
1	Mr Gourhari Maity	DESIRE CONSTRUCTION-1.25 Dec
2	Mrs Padmarani Maity	DESIRE CONSTRUCTION-1.25 Dec
3	Mr Snehasish Maity	DESIRE CONSTRUCTION-1.25 Dec
4	Mr Debasish Maity	DESIRE CONSTRUCTION-1.25 Dec

Transfer of property for L3

Sl.No	From	To. with area (Name-Area)
1	Mr Gourhari Maity	DESIRE CONSTRUCTION-1.25 Dec
2	Mrs Padmarani Maity	DESIRE CONSTRUCTION-1.25 Dec
3	Mr Snehasish Maity	DESIRE CONSTRUCTION-1.25 Dec
4	Mr Debasish Maity	DESIRE CONSTRUCTION-1.25 Dec

Transfer of property for L4

Sl.No	From	To. with area (Name-Area)
1	Mr Gourhari Maity	DESIRE CONSTRUCTION-1.25 Dec
2	Mrs Padmarani Maity	DESIRE CONSTRUCTION-1.25 Dec
3	Mr Snehasish Maity	DESIRE CONSTRUCTION-1.25 Dec
4	Mr Debasish Maity	DESIRE CONSTRUCTION-1.25 Dec

Land Details as per Land Record

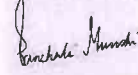
District: Howrah, P.S:- Sankrail, Gram Panchayat: ANDUL, Mouza: Andul, JI No: 29, Pin Code : 711302

Sch No	Plot & Khatian Number	Details Of Land	Owner name in English as selected by Applicant
L1	LR Plot No:- 742, LR Khatian No:- 2777	Owner:গৌরহরী মাইতি, Gurdian:গুনধর , Address:আব্দুল,সাঁকরাইল,হাওড়া , Classification:পুকুর, Area:0.04000000 Acre,	Mr Gourhari Maity
L2	LR Plot No:- 742, LR Khatian No:- 2776	Owner:পদ্মরানী মাইতি, Gurdian:গৌড়হরী , Address:আব্দুল,সাঁকরাইল,হাওড়া , Classification:পুকুর, Area:0.04000000 Acre,	Mrs Padmarani Maity
L3	LR Plot No:- 742, LR Khatian No:- 2778	Owner:দেবাশিষ মাইতি, Gurdian:গৌরহরী , Address:আব্দুল,সাঁকরাইল,হাওড়া , Classification:পুকুর, Area:0.04000000 Acre,	Mr Debasish Maity
L4	LR Plot No:- 742, LR Khatian No:- 2845	Owner:শ্বেহাশীষ মাইতি, Gurdian:গৌরহর মাইতি, Address:সাং আব্দুল পূর্বপাড়া পোঃ আব্দুল সাঁকরাইল, Classification:পুকুর, Area:0.05000000 Acre,	Mr Debasish Maity

On 03-08-2020

Certificate of Market Value(WB PUVI rules of 2001)

Certified that the market value of this property which is the subject matter of the deed has been assessed at Rs 84,00,000/-



Panchali Munshi
DISTRICT SUB-REGISTRAR
OFFICE OF THE D.S.R. - II HOWRAH
Howrah, West Bengal

On 14-08-2020

Presentation(Under Section 52 & Rule 22A(3) 46(1),W.B. Registration Rules,1962)

Presented for registration at 17:18 hrs on 14-08-2020, at the Private residence by Mr Gourhari Maity , one of the Executants.

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962)

Execution is admitted on 14/08/2020 by 1. Mr Gourhari Maity, Son of Late Gunadhar Maity, Andul, Purbapara, P.O: Andul Mouri, Thana: Sankrail, , Howrah, WEST BENGAL, India, PIN - 711302, by caste Hindu, by Profession Business, 2. Mrs Padmarani Maity, Wife of Mr Gourhari Maity, Andul, Purbapara, P.O: Andul Mouri, Thana: Sankrail, , Howrah, WEST BENGAL, India, PIN - 711302, by caste Hindu, by Profession Business, 3. Mr Snehasish Maity, Son of Mr Gourhari Maity, Andul Purbapara, P.O: Andul Mouri, Thana: Sankrail, , Howrah, WEST BENGAL, India, PIN - 711302, by caste Hindu, by Profession Business, 4. Mr Debasish Maity, Son of Mr Gourhari Maity, Andul Purbapara, P.O: Andul Mouri, Thana: Sankrail, , Howrah, WEST BENGAL, India, PIN - 711302, by caste Hindu, by Profession Business

Indetified by Mr Subrata Guha, , , Son of Late Sushil Kumar Guha, Andul Purbapara, P.O: Andul Mouri, Thana: Panchla, , Howrah, WEST BENGAL, India, PIN - 711302, by caste Hindu, by profession Others

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962) [Representative]

Execution is admitted on 14-08-2020 by Smt Mita Denria, partner, DESIRE CONSTRUCTION (Private Limited Company), Andul Purbapara, P.O:- Howrah, P.S:- Howrah, District:-Howrah, West Bengal, India, PIN - 711101

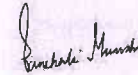
Indetified by Mr Subrata Guha, , , Son of Late Sushil Kumar Guha, Andul Purbapara, P.O: Andul Mouri, Thana: Panchla, , Howrah, WEST BENGAL, India, PIN - 711302, by caste Hindu, by profession Others

Execution is admitted on 14-08-2020 by Mr Debebrata Manna, partner, DESIRE CONSTRUCTION (Private Limited Company), Andul Purbapara, P.O:- Howrah, P.S:- Howrah, District:-Howrah, West Bengal, India, PIN - 711101

Indetified by Mr Subrata Guha, , , Son of Late Sushil Kumar Guha, Andul Purbapara, P.O: Andul Mouri, Thana: Panchla, , Howrah, WEST BENGAL, India, PIN - 711302, by caste Hindu, by profession Others

Execution is admitted on 14-08-2020 by Mr Koushik Bhattacharya, partner, DESIRE CONSTRUCTION (Private Limited Company), Andul Purbapara, P.O:- Howrah, P.S:- Howrah, District:-Howrah, West Bengal, India, PIN - 711101

Indetified by Mr Subrata Guha, , , Son of Late Sushil Kumar Guha, Andul Purbapara, P.O: Andul Mouri, Thana: Panchla, , Howrah, WEST BENGAL, India, PIN - 711302, by caste Hindu, by profession Others



Panchali Munshi
DISTRICT SUB-REGISTRAR
OFFICE OF THE D.S.R. - II HOWRAH
Howrah, West Bengal

On 17-08-2020

Certificate of Admissibility(Rule 43,W.B. Registration Rules 1962)

Admissible under rule 21 of West Bengal Registration Rule, 1962 duly stamped under schedule 1A, Article number : 48 (g) of Indian Stamp Act 1899.

Payment of Fees

Certified that required Registration Fees payable for this document is Rs 46/- (E = Rs 14/- ,H = Rs 28/- ,M(b) = Rs 4/-) and Registration Fees paid by Cash Rs 32/-, by online = Rs 14/-

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB Online on 31/07/2020 1:47PM with Govt. Ref. No: 192020210050975531 on 31-07-2020, Amount Rs: 14/-, Bank: State Bank of India (SBIN0000001), Ref. No. IK0AQASHF1 on 31-07-2020, Head of Account 0030-03-104-001-16

Payment of Stamp Duty

Certified that required Stamp Duty payable for this document is Rs. 10,010/- and Stamp Duty paid by Stamp Rs 50/-, by online = Rs 10,010/-

Description of Stamp

1. Stamp: Type: Impressed, Serial no 4200, Amount: Rs.50/-, Date of Purchase: 28/07/2020, Vendor name: Saikat Meyur

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB Online on 31/07/2020 1:47PM with Govt. Ref. No: 192020210050975531 on 31-07-2020, Amount Rs: 10,010/-, Bank: State Bank of India (SBIN0000001), Ref. No. IK0AQASHF1 on 31-07-2020, Head of Account 0030-02-103-003-02



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DISTRICT SUB-REGISTRAR
OFFICE OF THE D.S.R. - II HOWRAH
Howrah, West Bengal

Certificate of Registration under section 60 and Rule 69.

Registered in Book - I

Volume number 0513-2020, Page from 101038 to 101107

being No 051302857 for the year 2020.



Digitally signed by PANCHALI MUNSHI
Date: 2020.08.19 18:25:48 +05:30
Reason: Digital Signing of Deed.

Panchali Munshi

(Panchali Munshi) 2020/08/19 06:25:48 PM

DISTRICT SUB-REGISTRAR

OFFICE OF THE D.S.R. - II HOWRAH

West Bengal.

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